

VILLAGE OF EPHRAIM

FOUNDED 1853



Capital Projects Ad-Hoc Committee Meeting Agenda

Wednesday, May 4, 2022 - 9:30 AM

9996 Water Street

NOTE: THIS MEETING WILL BE SIMULTANEOUSLY HELD VIA TELECONFERENCING. STAFF, COMMITTEE MEMBERS AND THE PUBLIC ARE WELCOME TO PARTICIPATE IN THIS MANNER. TELECONFERENCING WILL BE AVAILABLE BY COMPUTER, PHONE, TABLET, OR DIAL IN. CONNECTION INFORMATION BELOW:

1. Call to Order
2. Quorum
3. Approval of previous minutes
4. Changes in Agenda
5. Visitors' Comments
6. Discussion regarding Anderson Dock project and proposals from Laib and ES Olson
7. Discussion regarding on-site discussion from last meeting of Admin. Building and Fire Station and proposals from ES Olson and Keller
8. Discussion regarding future meeting dates
9. Onsite walk-thru of Fire Department and Maintenance Facility. Group will adjourn, leave the Village Hall and meet at 10285 Townline (Maintenance Facility) at approximately 10:30 am then meet at 10005 Norway (Fire Station) at approximately 11:30 am .
10. Adjournment

NOTE: The purpose of the onsite portion of this meeting is to see the buildings mentioned firsthand as it relates to the facility problems/issues established by department heads. It is a discussion only topic that will facilitate conversation of future capital improvements at subsequent meetings of the Capital Projects Committee.

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/323127989>

You can also dial in using your phone.

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Access Code: 323-127-989

****Deviation from listed order may occur****

There may be a quorum of the Village Board or another Village Committee present; no action will be taken by any committee other than the one listed on the agenda. Please note, that upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information please contact Andrea Collak, Clerk Village of Ephraim, PO Box 138, Ephraim, WI 54211

	Date: <u>5/3/2022</u>
<hr/> Andrea Collak, Clerk	<input checked="" type="checkbox"/> Village Administrative Office
	<input checked="" type="checkbox"/> Visitors' Center
	<input checked="" type="checkbox"/> Post Office
<hr/> Kim Roberts, Deputy Clerk	<input checked="" type="checkbox"/> Website www.ephraim-wisconsin.com
	<input checked="" type="checkbox"/> Emailed to WDOR Radio
	<input checked="" type="checkbox"/> Emailed to Peninsula Pulse

**VILLAGE OF EPHRAIM
CAPITAL PROJECTS AD-HOC COMMITTEE MEETING MINUTES
WEDNESDAY, APRIL 20, 2022 – 8:00 AM
9996 WATER STREET**



ACTION ITEMS:

Meacham moved, Bridenhagen seconded to approve the minutes of April 6, 2022, all ayes. Motion carried.

Peterman moved, Pearson seconded to contact Laib and ask them to go ahead with their proposal for a written analysis of the building with cost estimates and order of repairs if that would be the case, all ayes. Motion carried.

Bridenhagen moved to adjourn, Meacham seconded, all ayes. Motion carried.

Present: Ken Nelson-Chair, Maggie Peterman, Fred Bridenhagen, Chuck Pearson, and Matt Meacham.

Absent: Dick Christensen (non-voting member).

Staff: Brent Bristol- Village Administrator and Kim Roberts- Deputy Clerk.

Guests: Bill Schult, Dr. Michael McCutcheon, Steve Sauter (Hardy Gallery), Kelly Klobucher (Ephraim Historical Foundation), Carol Schalla, Sarah Zamecnik (Hardy Gallery), and Kelsey Stone (Ephraim Business Council).

1. **Call to Order:** The meeting was called to order by K. Nelson at 8:00 AM.
2. **Quorum:** A quorum of the Capital Projects Ad-Hoc Committee was present.
3. **Approval of previous minutes:**
Meacham moved, Bridenhagen seconded to approve the minutes of April 6, 2022, all ayes. Motion carried.

4. **Changes to the agenda:** There were no changes to the agenda.

5. **Visitors' Comments:**

Bridenhagen discussed the recent Village Board meeting and how new information about the warehouse building being on the historic registry was shared at the meeting. He felt that M. Peterman had a responsibility to get them that information before the meeting.

M. Peterman stated that her research led to more questions. She contacted the Wisconsin Historical Society and didn't receive information until 4:30 PM Tuesday. She added that she did not set out to make anyone look bad; she just had more information than had previously been discussed.

Kelly Klobucher and Steve Sauter also made comments.

6. **Discussion regarding North End Lighting:**

K. Nelson stated that the Village Board approved contracts with AECOM to look at alternative paths to go from Anderson Lane to Town Line Drive. It will be looked at in two (2) sections: Anderson Lane to Orchard Road and Orchard Road to Town Line Drive. They will have the work to us in May, he said.

The second contract, K. Nelson said, that the Board approved even though the Committee recommended Wisconsin Public Service "WPS" lighting, is the contract with AECOM to look at the Northern Business District from Orchard Road to Town Line Drive. They will look at three (3) lighting scenarios. He went on to say that the Board also passed a motion directing the committee to proceed with intersection lighting via WPS for the section of road from Anderson Lane to Orchard Road.

K. Nelson added that before moving forward with WPS, a decision should be made on what is going to be done in the Northern area. He explained that if they end up with intersection lighting in that area, he did not want to give WPS two (2) separate projects.

7. **Discussion regarding Anderson Dock:**

K. Nelson noted that from the information in hand, it is clear that the Anderson Warehouse is on the Historic Register along with the other buildings that go up to the barn on Ephraim Historical Foundation's property. He explained that he made contact with Chris Meyer and Tyler Howe at the Wisconsin Historical Society "WHS". Howe had sent guidelines, criteria, and processes for review of plans once it is determined what is being done with the building. WHS desires to keep the integrity of the building but they are reasonable in that things have to be replaced to be maintained.

Further discussion was held about obtaining a contractor to review the condition of the Anderson Warehouse building. McCutcheon advised the committee that the request to approve the Laib proposal, which is on an approved list of restoration and preservation people, would require a special Village Board meeting. McCutcheon also reviewed with the Committee the task that the Village Board had given them; look at the top five (5) projects and provide a projected cost estimate for each project as best as they could with as minimal expense as possible. K. Nelson explained that he would only return to the Village Board with a request to spend money to move from a wild guess estimate to something that the Village could make an informed decision with.

The condition of the dock and warehouse was discussed along with possible solutions. It was discussed that they had a good idea of the cost and what needed to be done with the dock, but the historic warehouse building would be a worthwhile expenditure to find out what work needs to be done. K. Nelson stated that he would like to decide if the committee wants to recommend to the Board that they move forward with obtaining an analysis of the warehouse building. He felt that they should spend the money, get someone that knows what they are doing out there and tell us what needs to be done on the building. The advantage, he said, with Laib is that they'll go through the building thoroughly.

McCutcheon suggested a short, special Board meeting to get an answer on the proposal.

Peterman moved, Pearson seconded to contact Laib and ask them to go ahead with their proposal for a written analysis of the building with cost estimates and order of repairs if that would be the case, all ayes. Motion carried.

8. **Onsite walk-thru of Administration Building and Fire Department. Group will adjourn, leave the Village Hall and meet at 10005 Norway Street at approximately 9 AM:**

The meeting was adjourned to conduct a walking session. The purpose of the onsite portion of this meeting is to see the buildings mentioned firsthand as it relates to the facility problems/issues established by department heads. It is a discussion-only topic that will facilitate conversation of future capital improvements at subsequent meetings of the Capital Projects Committee.

K. Nelson confirmed the next meeting of the Capital Projects Ad Hoc Committee: May 4, 2022, at 9:30 AM.

Bristol provided an update on contact made with Ike Helgeson regarding the Helgeson Memorial.

Bill Schult noted that he had someone that is going to look at the memorial. He would get the information to Bristol upon completion.

9. **Adjournment:**

Bridenhagen moved to adjourn, Meacham seconded, all ayes. Motion carried.

*Recorded by,
Kim Roberts – Deputy Clerk*



Ephraim Fire Department
P.O. Box 138, Ephraim, WI 54211
Fire Chief Justin MacDonald
Office: (920) 854-5501 Fax: (920) 854-2072
Cell: (920) 495-0039 Email: jmacdonald@ephrain-wisconsin.com

To: Ad Hoc Capital Projects Committee

Re: Fire Station Improvements

Date: March 7, 2022

Ad Hoc Capital Projects Committee,

The Ephraim Fire Department has the following issues:

1. Firefighters currently get dressed within 2 feet of Fire Apparatus that can be leaving for a call. Very dangerous for everyone.
2. We currently have no lockable office space for the Fire Chief or Assistant Fire Chief. All files that have personal information are kept at the Village Office locked up, leaving them not in a good location when access is needed by the Chief Officers.
3. Lack of meeting space. We currently have 27 members on the department which has resulted in standing room only during business meetings. Current meeting space is not large enough to host classes or multi department meetings.
4. Our Rescue Boat is currently stored off site during the winter, which makes it unavailable to do work on during the off months.
5. *We are limited on the size of our Fire Apparatus can be. We have our vehicles situated in the station that best serve our needs but as we look to the future and replacing our vehicles it will become more difficult and costly to build trucks that only fit in one area.*
6. *We currently have 1 restroom facility for men and women within the Fire Station with a shower.*
7. *Storage for extra equipment. We have 1 lockable storage area for extra equipment that needs to be locked up as in Gloves, Boots, spare pagers, radios, etc. Storage for extra Hose and Hose Drying is limited.*

Please feel free to contact me if you have any additional questions or would like a tour of the Fire Station.

Thank You

Justin MacDonald
Fire Chief
jmacdonald@ephrain-wisconsin.com

Ephraim Maintenance Shop

Issues we face

- **Lack of heated work space. To reach the north or east walls the plow trucks have to go outside. Tractor and bucket truck are both in cold storage, both have engine heaters but that only helps the engines, hydraulics and transmissions are ice cold. Snowblower and lawn mowers are in WW facilities in the winter.**
- **Not a proper sand / salt storage facility. Currently materials are stored in the pole barn on a gravel floor. Building is not made to be used for this function. Salt / sand must be kept dry.**
- **No break room. We go to fire station daily for lunch.**
- **No shower or eyewash station. We use a variety of paints and chemicals to where both should be available.**
- **Lack of woodworking / mechanic area.**
- **Asphalt is in very poor condition or lack of. Heaves and cracking is bad enough that it catching while plowing. Cars are driving threw mud to do recycling.**
- **Most of our cleaning supplies and paper products are stored in the Hall basement because of lack of space at our facility.**

SHEET INDEX

- C1.0 SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS

BUILDING CODE ANALYSIS

PROJECT ADDRESS

Street, City, State, Zip

APPLICABLE CODES

- 2015 International Building Code (w/ WI Amendments)
- ASHRE Standard 90.1-2013
- 2015 IEBC (Level # Alteration)

OCCUPANCY

- ?-?
- Accessory Use ?-?
- Incidental Use ---
- High-Piled Combustible Storage YES/NO
- Hazardous Materials YES/NO
- Multiple Control Areas YES/NO

HEIGHT & AREA

- Building Height: --- Maximum Allowed: ---
- Number of Stories: -- Maximum Allowed: --
- Total Building Area: --- S.F. Maximum Allowed: --- S.F.
- Total Fire Area: --- S.F. Maximum Allowed: --- S.F.
- Mixed/Separated Occupancies ---
- Unlimited Area Building YES/NO

CONSTRUCTION TYPE

- Construction Classification ?B
- Fire Separation Distance ---

FIRE PROTECTION SYSTEMS

- Assumed Sprinkler Type --
- Fire Alarm System YES/NO

MEANS OF EGRESS

- Occupant Load --
- Panic Hardware YES/NO

STRUCTURAL DESIGN

- Risk Category --
- Roof Live Load --- psf
- Second Floor/Mezz Live Load --- psf
- Ground Snow Load --- psf Exposure Factor -- Thermal Factor --
- Wind Load -- MPH Exposure Category --
- Seismic Site Class --

PLUMBING SYSTEMS

- Mens WC Required YES/NO
- Womens WC Required YES/NO
- Drinking Fountain YES/NO
- Other Source YES/NO

MECHANICAL SYSTEMS

X

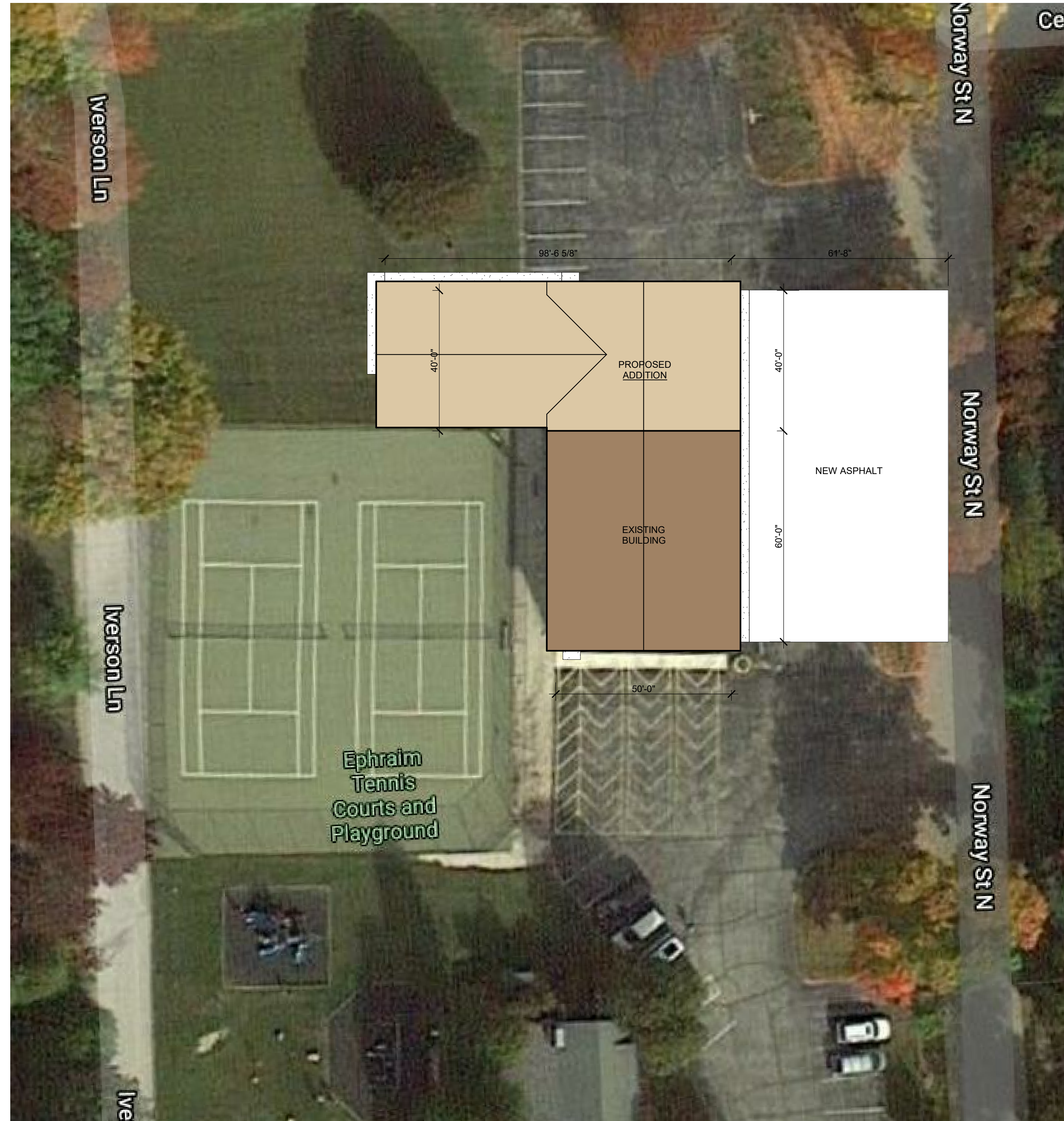
SITE INFORMATION

SITE CONTENT

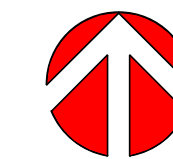
- Building Size --- S.F. ---%
- Hard Surface --- S.F. ---%
- Green Space --- S.F. ---%
- Parcel Size (Approx.) --- S.F. --- Acres
- Parking Provided -- Stalls
- Area of Disturbance --- S.F.

ZONING

- Property Zoning --
- Setbacks FY --- SY --- RY ---
- Hard Surface Setback ---
- Coverage Limit ---%
- Greenspace Requirement ---%
- Parking Required -- Stalls
- Refuse Enclosure YES/NO
- RTU SCREENING YES/NO

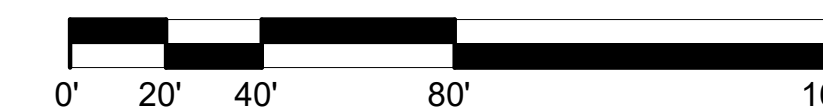


NORTH



CONCEPTUAL SITE PLAN

1" = 20'-0"



FIRE GARAGE ADDITION FOR:

VILLAGE OF EPHRAIM

EPHRAIM

WISCONSIN



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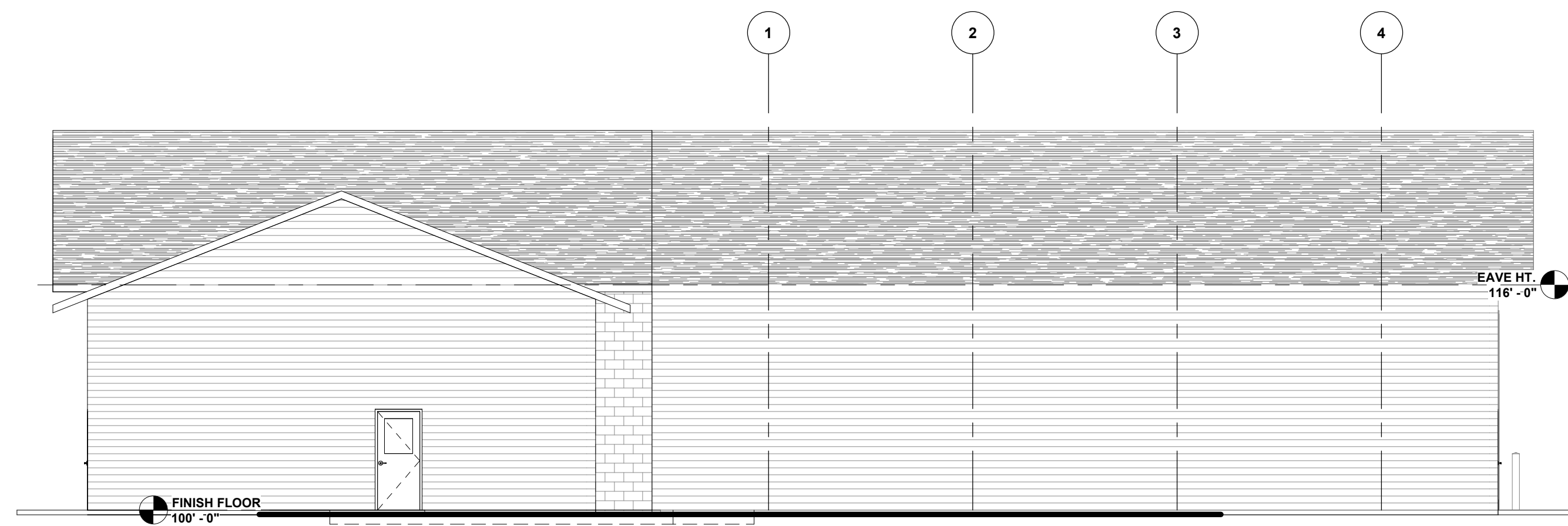
PROJECT MANAGER:	K. CLAFLIN
DESIGNER:	J. STOJKE
DRAWN BY:	JHS
EXPEDITOR:	-----
SUPERVISOR:	-----
PRELIMINARY NO.:	-----
CONTRACT NO.:	-----
DATE:	11-30-2020
SHEET:	C1.0



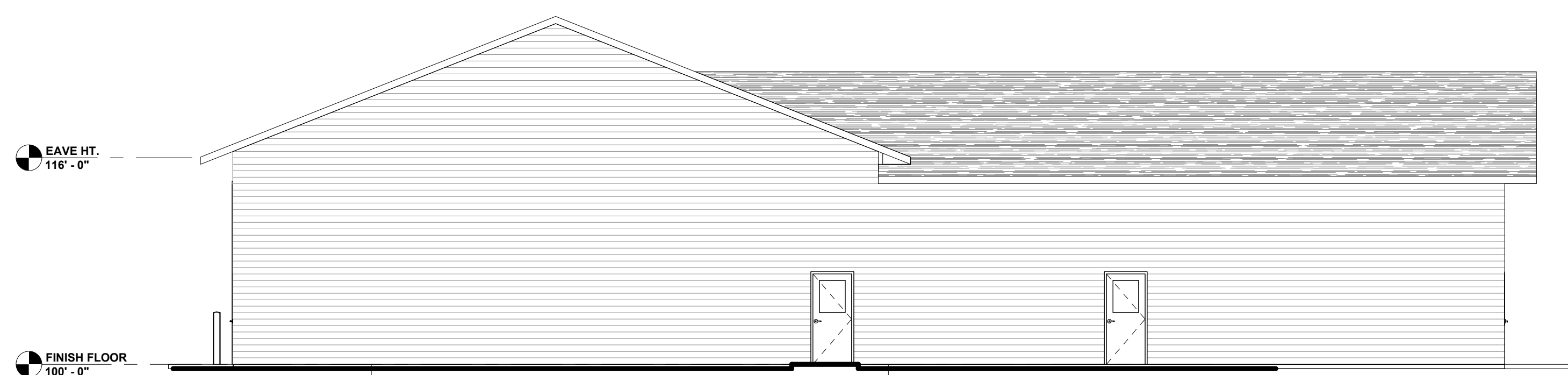
VILLAGE OF EPHRAIM

EPHRAIM

WISCONSIN



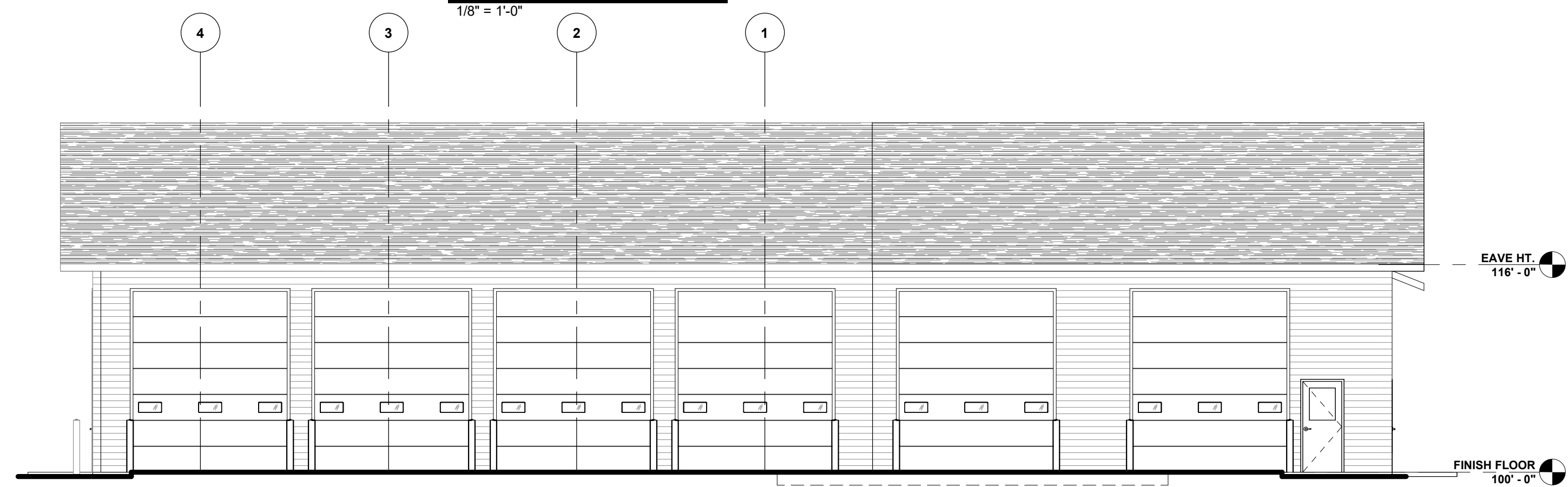
WEST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



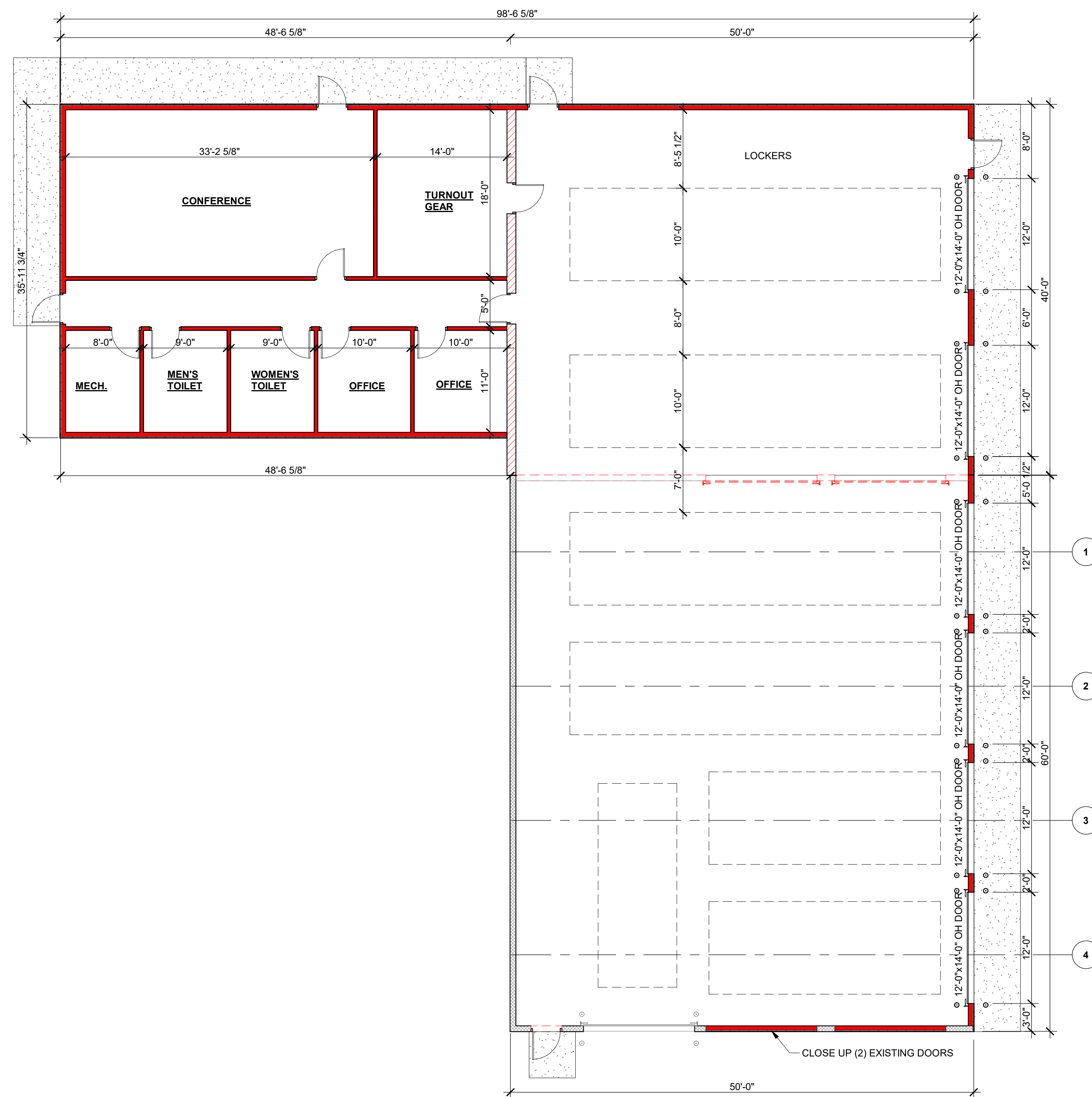
SOUTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

WALL KEY

- NEW WALL/FURRING
- NEW MASONRY/ VENEER WALL
- NEW COOLER/ FREEZER WALLS
- NEW FOUNDATION WALL
- TYPICAL EXISTING WALL
- DEMO WALLS
- FIRE WALL OR FIRE BARRIER



FLOOR PLAN
1/8" = 1'-0"

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REVISIONS

NO.	DESCRIPTION
1	
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PROJECT MANAGER: K. CLAFLIN

DESIGNER: J. STOJKE

DRAWN BY: JHS

EXPEDITOR: -----

SUPERVISOR: -----

PRELIMINARY NO.: -----

CONTRACT NO.: -----

DATE: 11-30-2020

SHEET: **A1.0**

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET INDEX

- C1.0 SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS

BUILDING CODE ANALYSIS

PROJECT ADDRESS
Street, City, State, Zip

APPLICABLE CODES
2015 International Building Code (w/ WI Amendments)
ASHRE Standard 90.1-2013
2015 IEBC (Level # Alteration)

OCCUPANCY
?-?
Accessory Use
?-?
Incidental Use

High-Piled Combustible Storage YES/NO
Hazardous Materials YES/NO
Multiple Control Areas YES/NO

HEIGHT & AREA
Building Height: ---' Maximum Allowed: ---'
Number of Stories: -- Maximum Allowed: --
Total Building Area: --- S.F. Maximum Allowed: --- S.F.
Total Fire Area: --- S.F. Maximum Allowed: --- S.F.
Mixed/Separated Occupancies
Unlimited Area Building YES/NO

CONSTRUCTION TYPE
Construction Classification ?B
Fire Separation Distance ---'

FIRE PROTECTION SYSTEMS
Assumed Sprinkler Type --
Fire Alarm System YES/NO

MEANS OF EGRESS
Occupant Load --
Panic Hardware YES/NO

STRUCTURAL DESIGN
Risk Category --
Roof Live Load --- psf
Second Floor/Mezz Live Load --- psf
Ground Snow Load --- psf Exposure Factor -- Thermal Factor --
Wind Load -- MPH Exposure Category --
Seismic Site Class --

PLUMBING SYSTEMS
Mens WC Required YES/NO
Womens WC Required YES/NO
Drinking Fountain YES/NO
Other Source YES/NO

MECHANICAL SYSTEMS
X

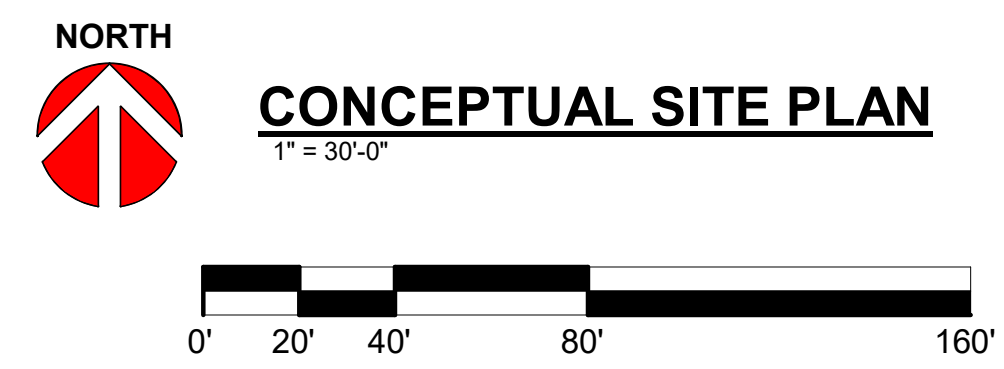
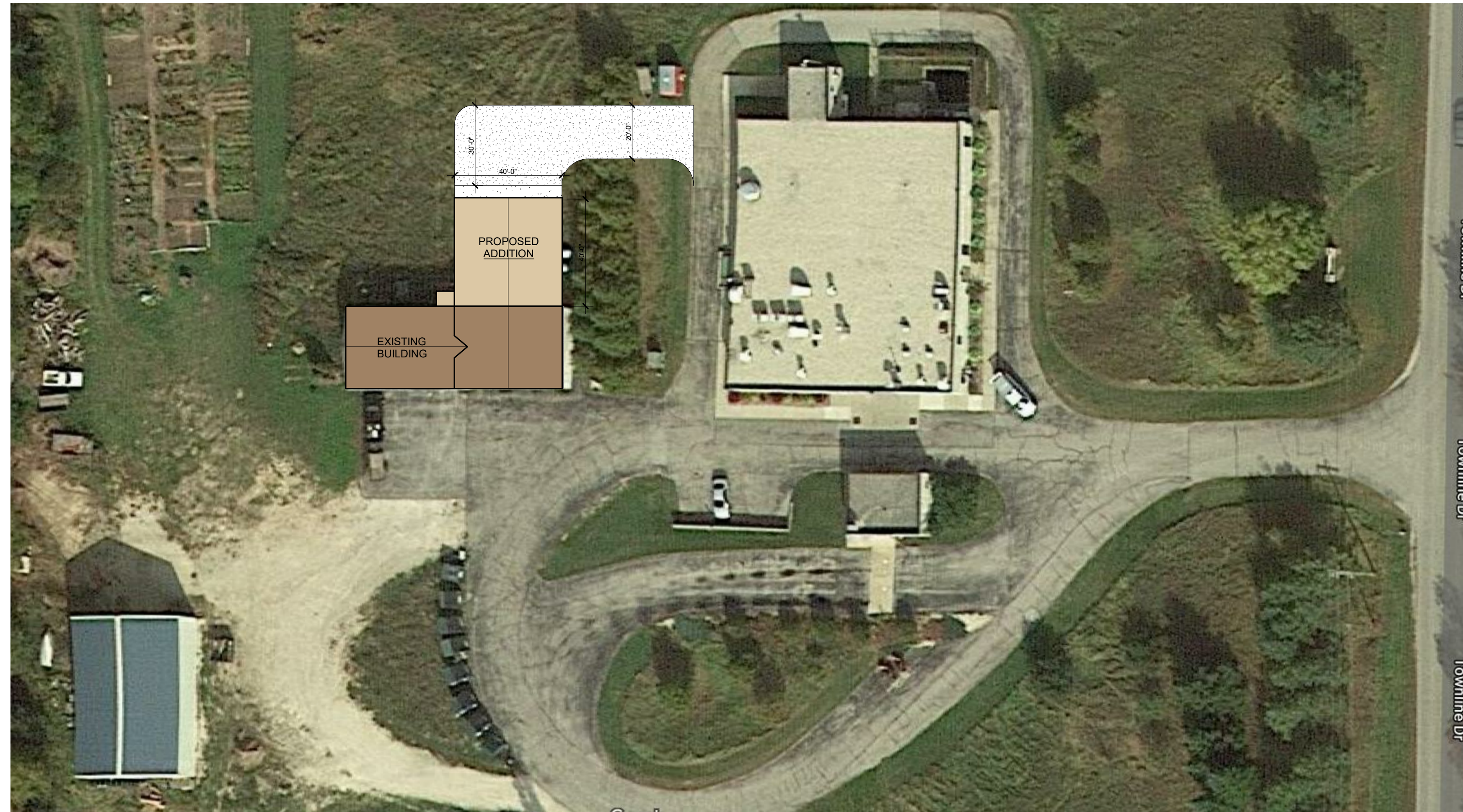
SITE INFORMATION

SITE CONTENT

Building Size	--- S.F.	---%
Hard Surface	--- S.F.	---%
Green Space	--- S.F.	---%
Parcel Size (Approx.)	--- S.F.	--- Acres
Parking Provided	-- Stalls	
Area of Disturbance	--- S.F.	

ZONING

Property Zoning	--
Setbacks	FY ---' SY ---' RY ---'
Hard Surface Setback	---'
Coverage Limit	---%
Greenspace Requirement	---%
Parking Required	-- Stalls
Refuse Enclosure	YES/NO
RTU SCREENING	YES/NO

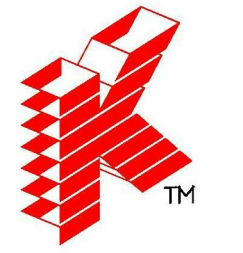


THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

MUNICIPAL GARAGE ADDITION FOR:
VILLAGE OF EPHRAIM

EPHRAIM

WISCONSIN



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REVISIONS

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PROJECT MANAGER:
K. CLAFLIN

DESIGNER:
J. STOJKE

DRAWN BY:
JHS

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO.:

CONTRACT NO.:

DATE:
11-30-2020

SHEET:
C1.0

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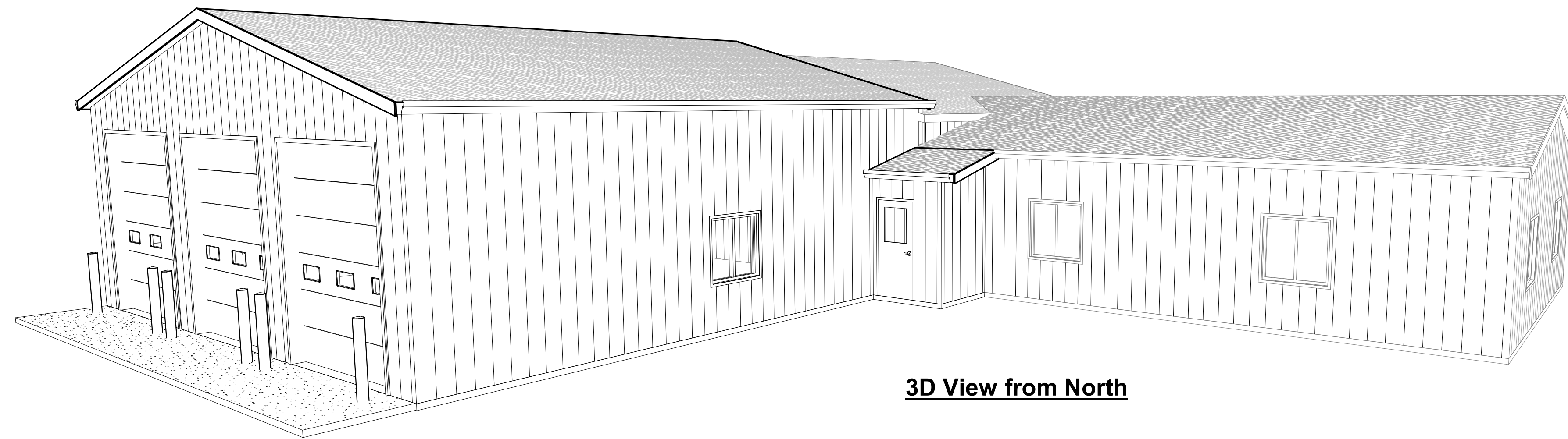
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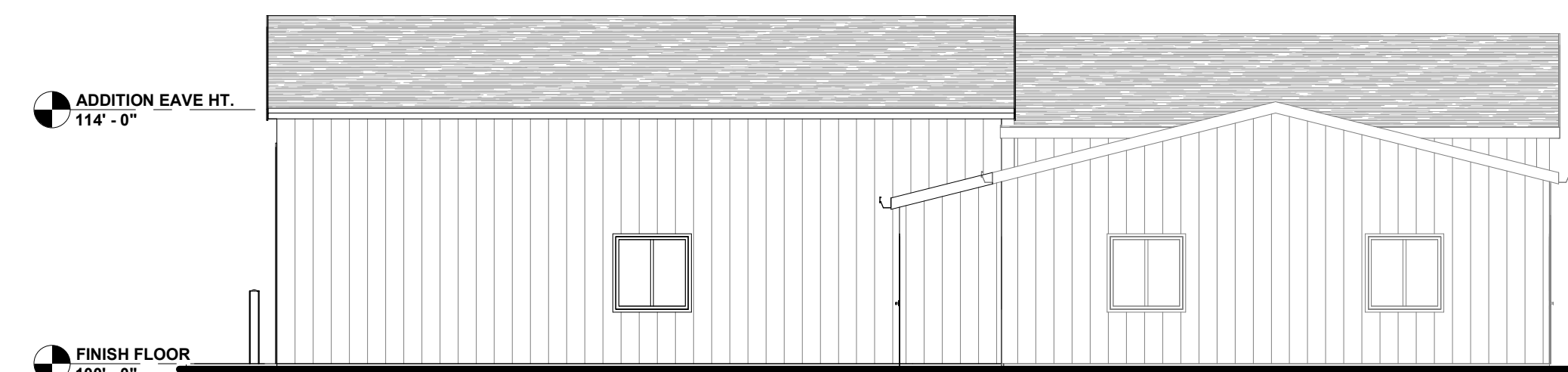
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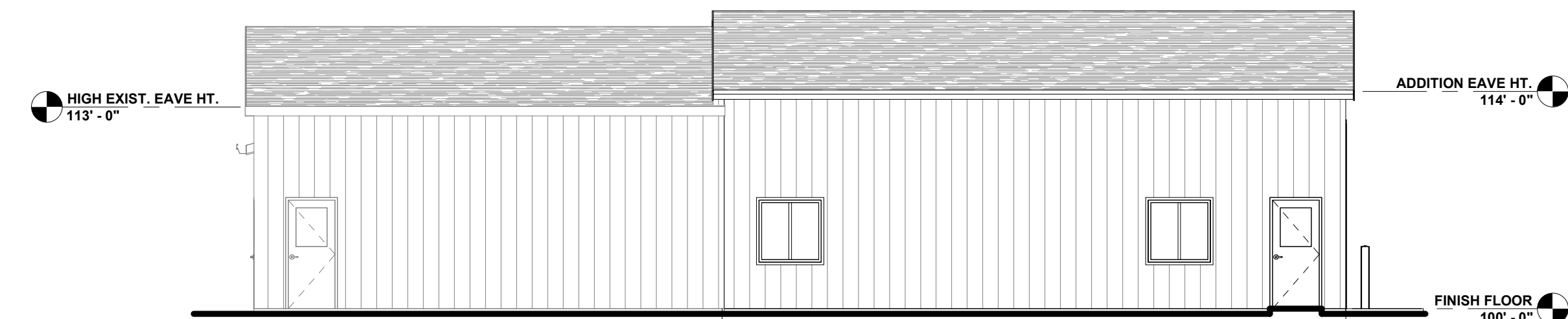
3D View from North



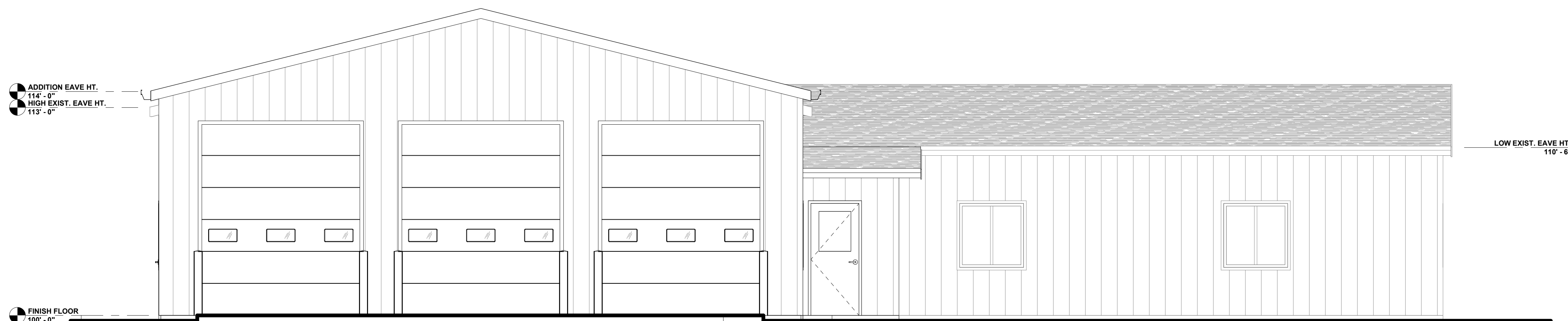
SOUTH ELEVATION
 1/8" = 1'-0"



WEST ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"



NORTH ELEVATION
 1/4" = 1'-0"

MUNICIPAL GARAGE ADDITION FOR:
VILLAGE OF EPHRAIM
WISCONSIN
EPHRAIM

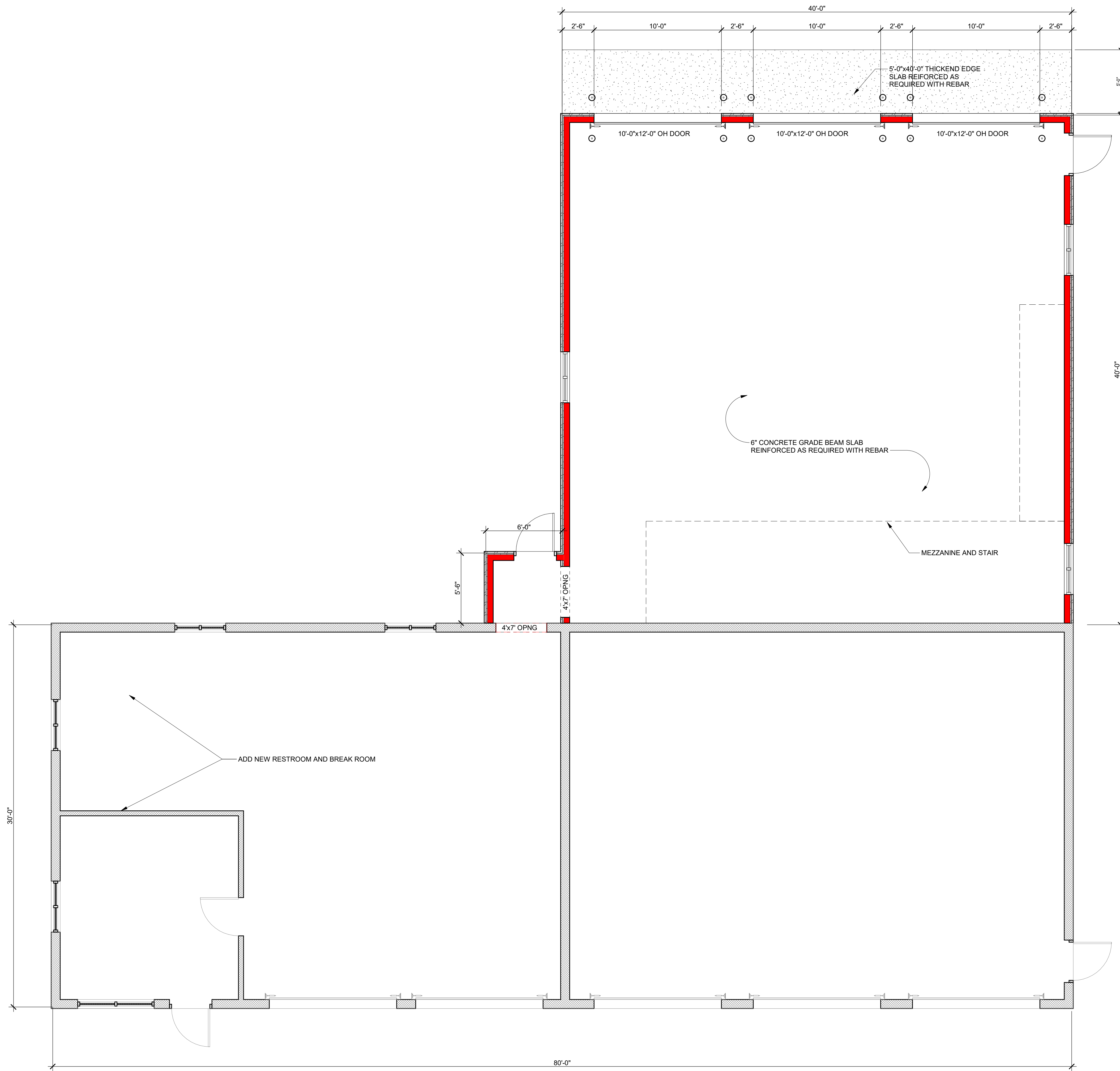
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REVISIONS

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PROJECT MANAGER: K. CLAFILIN
DESIGNER: J. STOJKE
DRAWN BY: JHS
EXPEDITOR: -----
SUPERVISOR: -----
PRELIMINARY NO.: -----
CONTRACT NO.: -----
DATE: 11-30-2020
SHEET: **A2.0**

PRELIMINARY - NOT FOR CONSTRUCTION



WALL KEY

	NEW WALL/FURRING
	NEW MASONRY/VENEER WALL
	NEW COOLER/FREEZER WALLS
	NEW FOUNDATION WALL
	TYPICAL EXISTING WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER

NORTH

FLOOR PLAN
 1/4" = 1'-0"

Keller
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PRELIMINARY - NOT FOR CONSTRUCTION

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PROJECT MANAGER: K. CLAFILIN
 DESIGNER: J. STOJKE
 DRAWN BY: JHS
 EXPEDITOR: -----
 SUPERVISOR: -----
 PRELIMINARY NO: -----
 CONTRACT NO: -----
 DATE: 11-30-2020
 SHEET: **A1.0**